

# LONDON BOROUGH OF ENFIELD

## PLANNING COMMITTEE

Date : 26<sup>th</sup> October 2010

**Report of**  
Assistant Director, Planning &  
Environmental Protection

**Contact Officer:**  
Aled Richards Tel: 020 8379 3857  
Andy Higham Tel: 020 8379 3848  
Mr S. Newton Tel: 020 8379 3851

**Ward:** Chase

**Application Number :** TP/10/1151

**Category:** Agricultural Buildings and  
Operations

**LOCATION:** FARMLAND,FORTY HALL FARM, FORTY HILL, ENFIELD, EN2 9HA

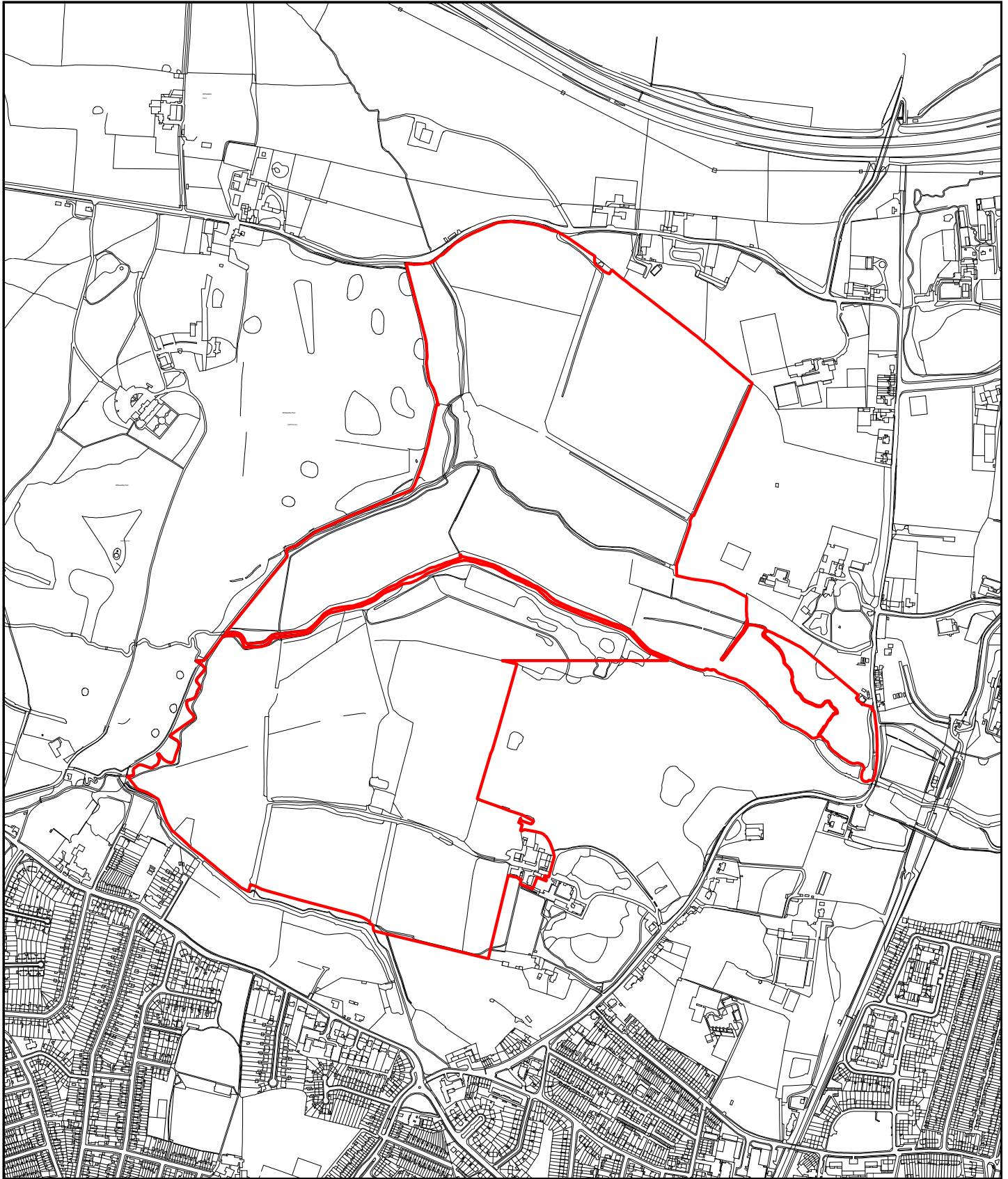
**PROPOSAL:** Erection of replacement barn for storage of hay.

**Applicant Name & Address:**  
Mr Nicholas Evans  
CAPEL MANOR COLLEGE,  
BULLSMOOR LANE,  
ENFIELD,  
EN1 4RQ

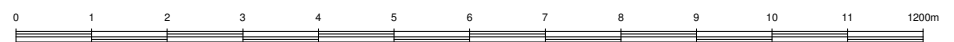
**Agent Name & Address:**  
Barry Stow,  
Barry Stow Architect Ltd  
6, Harrowdene Court  
Belvedere Drive  
Wimbledon  
Surrey  
SW19 7BY

**RECOMMENDATION:**

That planning permission be **GRANTED** subject to conditions.



## Development Control



Scale - 1:10000  
Time of plot: 10:08

Date of plot: 13/10/2010

## **1. Site and Surroundings**

- 1.1 The application site forms part of land known as the Home Farm and is part of the Forty Hall Farm. the main enclave of which lies to the north west of the House.
- 1.2 The site is Green Belt, within the Forty Hill Conservation Area, and in close proximity to several Grade II listed barn structures within Forty Hall Farm. The site is not covered by an Article 4 Direction.
- 1.3 The Forty Hill Conservation Area Character Appraisal describes the area thus:

“To the west and north-west of the house are the service and stable courts and the Home Farm, within which views are mostly contained by buildings of varying scales, with framed views out to the wider landscape, particularly to the north across to Myddelton House, between the structures. This is, and always has been, the working part of the historic landscape”

## **2. Proposal**

- 2.1 Planning permission is sought for the erection of a replacement barn in a new position for the storage of hay following fire damage to an existing structure.
- 2.2 The proposed barn will be 16m wide, 24m deep, 4m in height to the eaves, and 6.2m in height to the ridge of the pitched roof.

## **3. Relevant Planning Decisions**

- 3.1 None

## **4. Consultations**

### **4.1 Statutory and non-statutory consultees**

- 4.1.1 The Conservation Advisory Group (CAG) comment that the group objects to the proposed materials and to the relocation on open ground and visible land highlighting that the relocation would be at the highest point of Forty Hill. It is also advised that the barn should be put back in the footprint of the previous barn, thus restoring the original courtyard.
- 4.1.2 English Heritage (GLAAS) comment that the Home Farm site has been in use since the 17th century in relation to Forty Hall. The Conservation and Management Plan for the estate, prepared by The Paul Drury Partnership, recommends that all groundwork in relation to this scheme are monitored for the appropriate recovery and recording of archaeological features. This is a recommendation that I would certainly support.

English Heritage do not consider that any further work need be undertaken prior to determination of this planning application but that the archaeological position should be reserved by attaching a condition to any consent granted under this application

4.1.3 Any additional comments will be reported at the meeting

## 4.2 Public

4.2.1 There are no neighbouring residential properties. Consequently, no consultation letters have been issued.

4.2.2 The Forty Hill & Bulls Cross Study Group comment that:

- The design is not of a high enough quality to either preserve or enhance the Conservation Area and in particular, the home farm.
- Materials proposed (cement sheets, uPVC guttering etc) are not commensurate with those in the surroundings and will be detrimental to the historic farm and listed buildings.
- The new location will be detrimental to the character of the Conservation Area
- The relocation will significantly increase its prominence in the landscape, degrading key views both to the farm and the rest of the estate.
- The farm is currently characterised by being compact and contained, offering a sharp division between the historic built and rural landscape – the moving of this structure will blur this transition and have a negative impact on the Conservation Area.

## 5. **Relevant Policy**

### 5.1 Unitary Development Plan

#### *Conservation Policy*

- |         |  |
|---------|--|
| (I)C1   | Preserving and enhancing, areas, sites, buildings and landscape features of archaeological, architectural or historic importance.  |
| (II)C1  | To ensure that buildings of architectural or historic interest are preserved or enhanced   |
| (II)C17 | To normally resist substantial built development within historic curtilages  |
| (II)C18 | To ensure curtilages of historic buildings retain their historic form, character and use   |
| (II)C26 | To resist the demolition of any unlisted building or structure or part thereof   |
| (II)C27 | To ensure that buildings or groups of buildings of architectural, historic or townscape interest within a conservation area are retained and their character and setting protected |
| (II)C28 | To ensure that development in conservation areas do not result in inappropriate development  |
| (II)C30 | Buildings, extensions, alterations within or adjacent to a Conservation Area   |

#### *Green Belt Policy*

- |       |  |
|-------|--|
| (I)G1 | To resist inappropriate developments in the Green Belt |
|-------|--|

- (I)G2 Improvement and enhancement of environment within Green Belt.
- (II)G1 To resist inappropriate development in the Green Belt
- (II)G6 Areas of Special Character
- (II)G11 Ensure new development in Green Belt not detrimental to landscape
- (II)G22 To support and foster in general the needs of farming in the Green Belt

*General Development Policy*

- (I)GD1 Development to have regard to its surroundings
- (I)GD2 Quality of life and visual amenity
- (II)GD1 New developments and changes of use are appropriately located
- (II)GD3 Aesthetic and functional design
- (II)GD6 Traffic generation
- (II)GD8 Access and servicing

5.2 Local Development Framework

5.2.1 The Planning and Compulsory Purchase Act 2004 requires the Council to replace the Unitary Development Plan with a Local Development Framework. At the heart of this portfolio of related documents will be the Core Strategy, which will set out the long-term spatial vision and strategic objectives for the Borough.

5.3.2 The Enfield Plan – Core Strategy was submitted to the Secretary of State on 16th March 2010 for a Public Examination of the ‘soundness’ of the plan. The Inspector has confirmed that the Core Strategy is sound but it will not be adopted until the full meeting of Council in November 2010. The following policies from this document are of relevance to the consideration of this application:

- SO16: To preserve local distinctiveness
- SO18: To protect the Borough’s conservation areas
- CP 1: Sustainable and efficient land use
- CP 22: Strategic townscape and landscape character
- CP 23: Built heritage

5.3 The London Plan

- Policy 3D.9 Green Belt
- Policy 3D.14 Biodiversity and nature conservation
- Policy 3D.18 Agriculture in London
- Policy 4A.3 Sustainable design and construction
- Policy 4B.8 Respect local context and communities
- Policy 4B.11 London’s built heritage
- Policy 4B.12 Heritage conservation

5.4 Other Material Considerations

- PPS1 Delivering Sustainable Development
- PPG2 Green Belts

## 6. Analysis

### 6.1 Principle

6.1.1 The proposed barn replaces a fire-damaged barn of 1950s construction albeit in a new position. In terms of land use, the agricultural purpose of the barn would be in keeping with the prevailing function and character of the site. In principle therefore, there are no objections to the proposal. However, its location within Green belt and Conservation place additional considerations which need to be taken in to account when determining acceptability.

6.1.2 In particular, Paragraph 3.4 of PPG2 confirms that the construction of new buildings in the Green Belt constitutes inappropriate development unless it is for the following purposes:

- Agriculture and forestry;
- Essential facilities for outdoor sport, recreation, cemeteries, and other uses of land, which preserve the openness of the Green Belt;
- Limited extension, alteration or replacement of existing dwellings;
- Limited infilling in existing villages
- Limited infilling or redevelopment of major existing developed sites identified in adopted local plans.

6.1.4 The replacement barn is therefore an appropriate form of development for the Green Belt.

### 6.2 Impact on Character and Appearance of Green Belt / Surrounding Area

6.2.1 Although repositioned in a more open location, the barn will still be in close proximity (8m) to the other built structures on the site and would therefore still be seen in that context. Its size is somewhat dependant on the functional requirements but is not felt unreasonable having regard to the operation needs of the farm

6.2.2 Some vegetation screening can be provided, particularly along the western elevation, to soften any visual impact from the proposed barn. Subject to this can be secured by condition it is considered therefore that the proposal does not lead to an unacceptable encroachment into the green belt

### 6.3 Impact on Forty Hill Conservation Area

6.3.1 Any development within a Conservation Area must meet the test in PPS5 "Planning for the Historic Environment" regarding the desirability of new development making a positive contribution to the character and local distinctiveness of the historic environment: in the case, the Forty Hill Conservation Area.

6.3.2 The Character Appraisal refers to Home Farm as follows:

“To the west and north-west of the house are the service and stable courts and the Home Farm, within which views are mostly contained by buildings of varying scales, with framed views out to the wider landscape, particularly to the north across to Myddelton House, between the structures. This is, and always has been, the working part of the historic landscape”.

6.3.3 The associated Conservation Management Plan (CMP) discusses the Home Farm and the intention of Carpel Manor to use the buildings as part of a historic working farm, at a fixed point in time. This is supported by Policy A7 of the CMP which states that the ideal notional presentation of the Home Farm would be the late 19<sup>th</sup> / early 20<sup>th</sup> century.

6.3.4 The proposed siting of the barn would accord with this targeted period, as evidenced in an 1897 map of the site, as it would return the courtyard between buildings b28/ b19 / b29 (to the north) & b14 (to the south) to their original layout, as the 1950 era fire damaged barn in filled this gap. This represents a planning gain in historic and conservation management.

6.3.5 It is acknowledged that the proposed barn is of a typical utilitarian agricultural design that serves a need. Aspects of it can be improved, such as the materials proposed, but these can be conditioned. For example, it is considered that the use of uPVC is entirely inappropriate in a conservation area and less appropriate when in close proximity to listed buildings. Cast aluminium is an acceptable alternative. Conditions to this effect are proposed to address these issues if the principle is accepted

6.3.6 The replacement barn will be positioned near to the site of the remains of a 19<sup>th</sup> century farmhouse. Consequently a suitable condition should be imposed to ensure the recording of archaeological features.

## **7. Conclusion**

7.1 It is considered that on balance, and having regard to the operational needs of the Farm, the proposed barn would not harm the appearance and character of the Conservation Area or the wider Green Belt. It is therefore considered that permission be granted for the following reason:

1. The proposed development due to its design and by virtue of the conditions imposed does not detract from the character and setting of the nearby listed buildings nor does it detract from the character, appearance and setting of the conservation area or the surrounding Green Belt. In this respect it is considered that the proposed development has appropriate regard to Policies (I)C1, (II)C1, (II)C17, (II)C18, (II)C26, (II)C27, (II)C28, (II)C30, (I)G1, (II)G1, (II)G11, (II)G22, (I)GD1, (I)GD2 and (II)GD3 of the Unitary Development Plan, with Policies 4B.8, 4B.11, 4B.12 of The London Plan, and with PPG2: Green Belt, PS5: Planning for the Historic Environment.

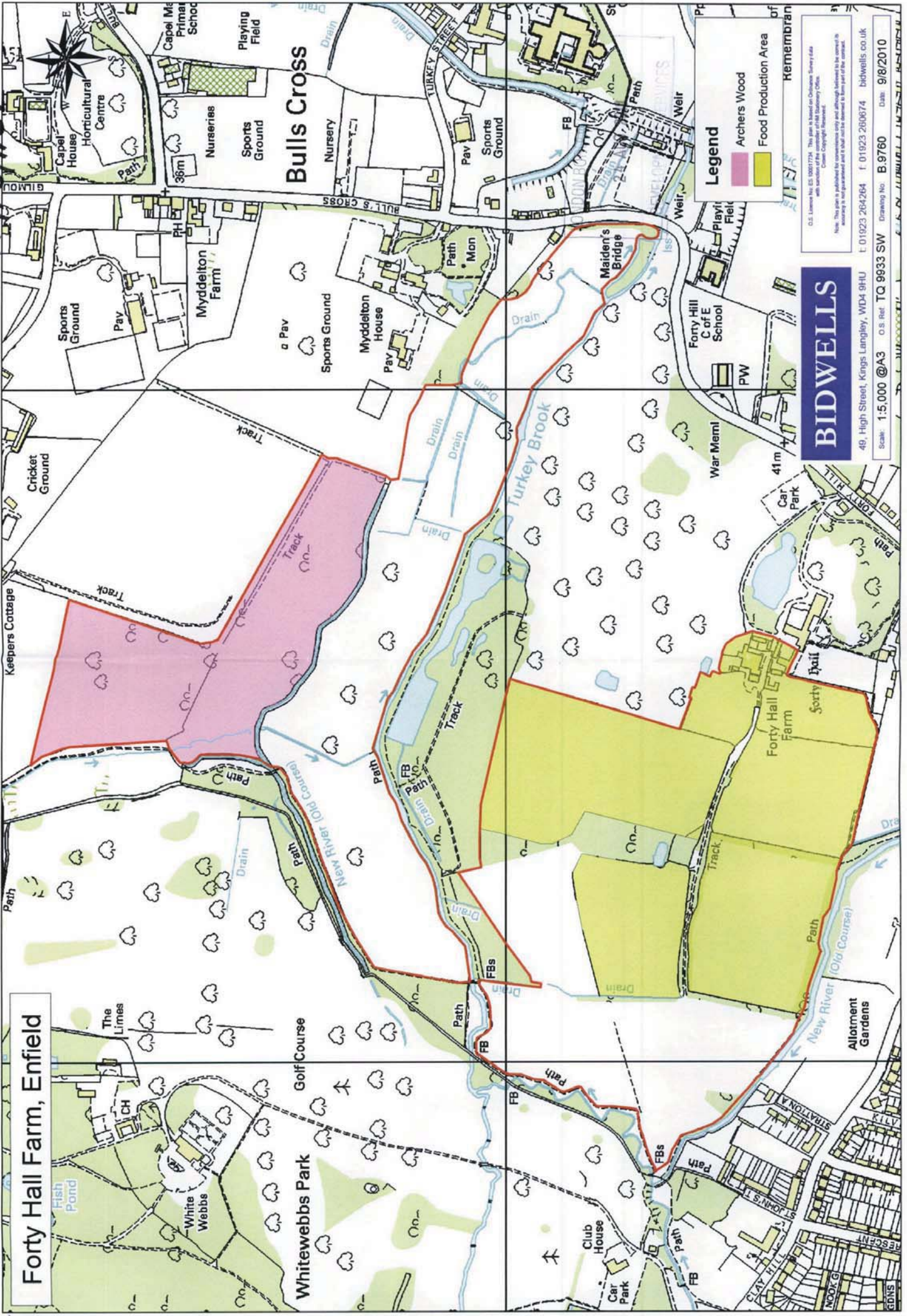
## **8. Recommendation**

8.1 That planning permission be GRANTED subject to the following conditions:

1. C60 Drawing Numbers
2. C07 Details of Materials
3. C17 Details of Landscaping
4. C23 Details of Archaeological Investigation
5. C51A Time Limited Permission



Tel: 01923 264264



Forty Hall Farm, Enfield

Whitewebbs Park

Bulls Cross

**BIDWELLS**

49, High Street, Kings Langley, WD4 9HU  
O.S. Ref. TQ 9833 SW  
Scale: 1:5,000 @A3  
Drawing No: B.9760  
Date: 9/8/2010

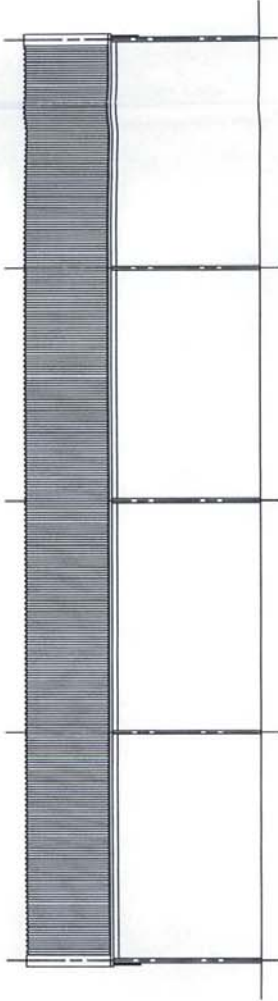
**Legend**

- Archers Wood
- Food Production Area
- Remembrance

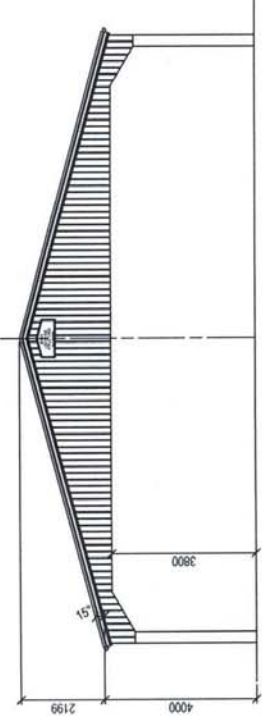
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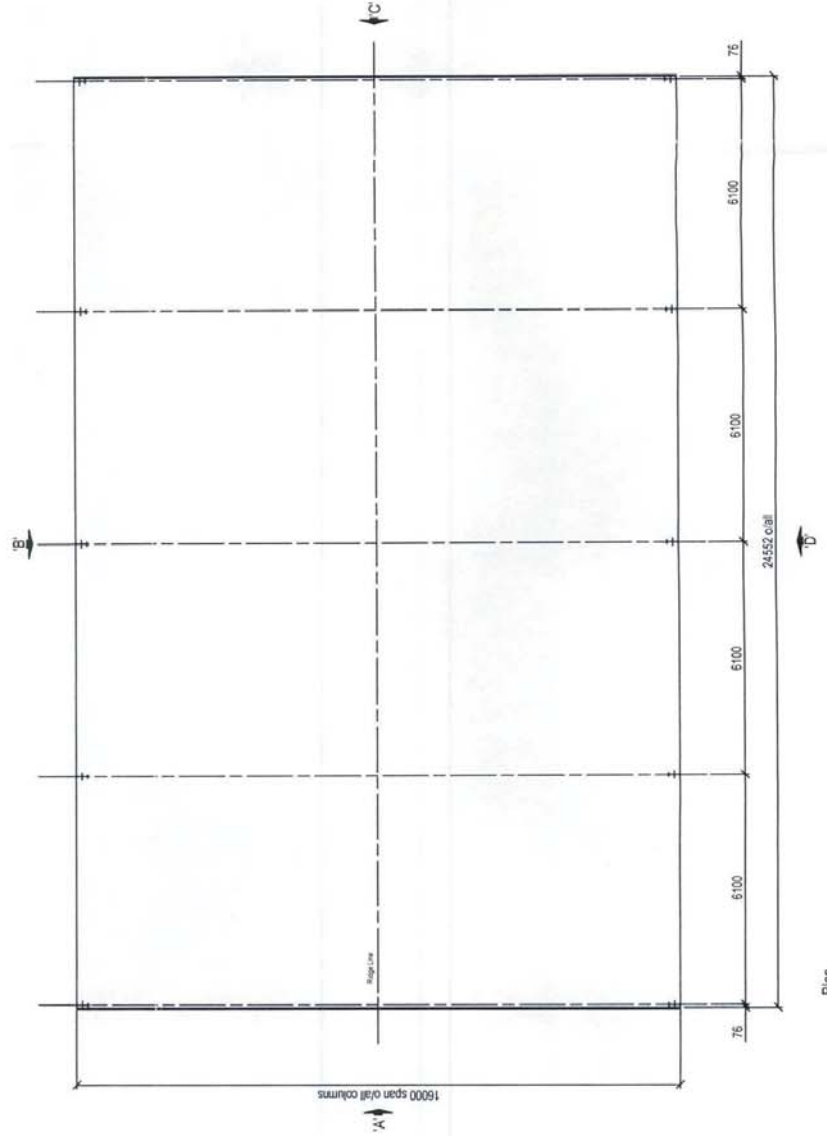
TP/10/1151



Elevation 'D'  
Elevation 'B' similar



Elevation 'C'  
Elevation 'A' similar



Plan

- Roof Cladding- Natural Grey Big Six fibre cement sheets incorporating close fitting ridge.
- Wall Cladding- Yorkshire Boarding to Gable Peak Level on Elevations 'A' & 'C'.
- RW Goods- 2 no. runs of 160mm (6") PVC HIR gutters, with 1 no. stack of 100dia pvc RWP per stretch.
- Steel Finish- Painted, dark green hi-build zinc phosphate primer, DFT 75µ.



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 e-mail: sales@bowlieckwood.co.uk

**BLS**  
 Client: Forty Hall Farm  
 Forty Hill  
 Enfield  
 London

Project: Agricultural Building	
Scale: 1:100	Drawn: BT
(Unless Otherwise Stated)	
Shl: A2	CRK: Date:
Job No. 1050	Dtg. No. 101
Rev.	

Revision	Date	Details